

## AGENDA FOR THE PLAN COMMISSION

Members noticed must notify the person who prepared agenda (see below) at least 24 hours before the meeting as to whether they will not be able to attend this meeting.

**Date and Time:** Tuesday, April 19, 2016, **5:15 PM**  
**Location:** Council Chambers, Municipal Building, 135 4<sup>th</sup> Street, Baraboo, Wisconsin  
**Plan Comm Notices:** Mayor Palm, P. Wedekind, D. Thurow, R. Franzen, P. Liston, J. O'Neill, T. Kolb, K. Fitzwilliams  
**Others Noticed:** T. Pinion, E. Geick, Atty. A. Bolin, E. Robkin, Richard Blakeslee, Carl Pierce, Ellen Allen, Ian Crammond, Mike Hardy, Library, and Media.

### **PETITIONERS OR REPRESENTATIVES MUST BE PRESENT OR SUBJECT WILL NOT BE HEARD BY THE COMMISSION!**

1. **Call to Order**
  - a. Note compliance with the Open Meeting Law.
  - b. Approve agenda.
  - c. Approve March 15, 2016 meeting minutes.
  
2. **Public Invited to Speak** (Any citizen has the right to speak on any item of business that is on the agenda for Commission action if recognized by the presiding officer.)
  
3. **New Business**
  - a. Review and approve a one-lot Certified Survey Map for the David A and Deloris E Leatherberry Living Trust for land in the City's Extraterritorial Plat Approval Jurisdiction, located on the west side of CTH A approximately 1/3 of a mile north of City View Road, in the NE 1/4 of the NE 1/4, Section 26, T12N, R6E in the Town of Baraboo, Sauk County, Wisconsin.
  - b. Request of Driftless Glen Properties, LLC for an amendment to the Conditional Use Permit approved on March 19, 2013, for a second ancillary storage building (rickhouse) for Driftless Glen Distillery. located at 300 Water Street.
  - c. Review and recommend vacating the unimproved alley right-of-way west of Tuttle Street between 10<sup>th</sup> and 11<sup>th</sup> Streets.
  - d. Review Sauk County's plan to reconstruct the east stairway at the historic Court House Building at 515 Oak Street and recommend granting a Certificate of Appropriateness pursuant to Section 17.53 of the City of Baraboo's General Code of Ordinances.
  - e. Review and recommendation of the Baraboo River Corridor Plan.
  - f. Review proposed US Bike Route 30 through Baraboo and recommend approval of Resolution supporting USBR 30.

#### 4. **Adjournment**

Phil Wedekind, Mayor Designee  
Agenda prepared by Kris Jackson, 355-2730, Ext. 309  
Agenda Posted by Kris Jackson on April 15, 2016

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**PLEASE TAKE NOTICE**, that any person who has a qualifying as defined by the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format, should contact the Municipal Clerk, 135 4th St., or phone 355-2700, during regular business hours at least 48 hours before the meeting so that reasonable arrangements can be made to accommodate each request.

It is possible that members of, and possibly a quorum of members of, other governmental bodies of the City of Baraboo who are not members of the above Council, committee, commission or board may be in attendance at the above stated meeting to gather information. However, no formal action will be taken by any governmental body at the above stated meeting, **other than the Council, committee, commission, or board identified in the caption of this notice.**

**FOR INFORMATION ONLY, NOT A NOTICE TO PUBLISH.**

## Minutes of Plan Commission Meeting March 15, 2016

**Call to Order** – Mayor Palm called the meeting of the Commission to order at 5:15 PM.

Mayor Palm introduced Attorney Alene Bolin to the Commission and then the Commissioners introduced themselves to Attorney Bolin.

**Roll Call** – Present were Mayor Palm, Dennis Thurow, Roy Franzen, Pat Liston, Jim O'Neill, Tom Kolb, and Kate Fitzwilliams.

Also in attendance were Tom Pinion, Atty. Bolin, Pam Mjelde, Legacy Housing LLC, Gary Woolever, Don & Karen Stanley, Mike Bisbach, Ben Letendre, Mike Cahoon, and Brittany Lewis.

### **Call to Order**

- a. Note compliance with the Open Meeting Law. Palm noted compliance with the Open Meeting Law.
- b. Agenda Approval: Liston moved, Kolb seconded to approve the agenda as posted. Motion carried unanimously.
- c. Minutes Approval: It was moved by Kolb, seconded by Franzen to approve the minutes of the February 16, 2016 meeting. Motion carried unanimously.

**Public Invited to Speak.** *(Any citizen has the right to speak on any item of business that is on the agenda for Commission action if recognized by the presiding officer.)* – Mike Cahoon, 519 6<sup>th</sup> Street addressed the Commission. He said that he lives on the 6<sup>th</sup> Street side of the Mjelde project. He said that he is a retired Baraboo Police Officer and he has no concerns regarding the addition of two more apartments, it would improve the area aesthetically. He said that his concern is the proposal for three parking stalls on the north side of their property, which would enter and exit 7<sup>th</sup> Street. He said 7<sup>th</sup> Street not only has Mjelde's apartments on the south side, Bill Weitzel's apartments are on the north side. He said that Weitzel has parking for all of his apartments under a canopy, a great setup; however, his tenants don't park under it. He said that 7<sup>th</sup> Street, especially the 500 block always has cars parked on both sides of the street. He said that the proposal to put the three parking stalls on their property, with a 22-foot driveway, by State Statute you have to stay 4-feet away from the edge of a driveway, so that would add up to 30-feet; therefore, basically two parking stalls. He said that another concern is that the three parking stalls that are shown in their diagram, all three of the vehicles would have to back on to 7<sup>th</sup> Street, which is always busy with vehicles going to Kwik Trip. He felt that this would be worse in the winter time when the streets are not plowed to the curb. He said another concern that he has is that this property never has their sidewalks clean in the winter time, so if cars will be driving over a portion of the sidewalk and they are not cleared that particular area will be icy and a danger for pedestrians. Cahoon felt that more practical parking for Mjelde would be to move the driveway down closer to the intersection so cars would be slowing down for the stop sign and put the parking area on his front lawn area and make it big enough for cars to back around and drive out of the driveway.

### **New Business**

- a. Request by Roy Mjelde, managing member of Roy & Pam Properties, LLC, to review a GDP&SIP in accordance with Steps 3 and 4 of the PUD Process to expand the existing 10-unit multi-family residential complex to a 12-unit multi-family residential complex by converting two existing storage buildings to two residential dwelling units, located on the southeast corner of 7<sup>th</sup> and Barker Streets in an R-4 Multi-Family Residential zoning district – Pinion said that this was a conceptual plan review at last month's meeting. He said under the PUD process, it is a unique way to provide zoning and to provide certain restrictions from the City's perspective and certain flexibility from the developer's perspective. He said that there are nine existing parking stalls and the proposal is to add three more, and if approved would make one stall per unit. Pinion said that if the Commission approves the project, it will move forward for a public hearing at the Common Council level. He said that he did receive a call from the property owner to the immediate east voicing concerns with the general maintenance of the property and certain trash being left that isn't picked up by the dumpster company and concern about the snow removal, but wasn't concerned about the nature of the development. Kolb questioned Cahoon's comment on the footage regarding parking stalls. Pinion said that he was referring to the State Statute that says that there is no parking within 4-feet of a private driveway opening. Pinion said that with it being 22-feet wide at the sidewalk, he is adding 4-feet, which is 30-feet. A typical on-street stall is 19-feet long; therefore, two stalls would be 38-feet, which is more than what this is. He said he would be adding three off-street stalls and losing the space for two on-street stalls, so there is the net increase of parking for one more vehicle than there is with no additional off-street parking. He said that he isn't sure that he shares the same concerns as Cahoon, if it was a single-family residence with two or three cars, which is not abnormal, they back on to streets without any issues. He said that his preference is to see driveways further from an intersection so that there is a better site distance rather than tight to the intersection. He further stated that the Mjeldes were looking to preserve the open green space rather than turn it into a sea of asphalt, so they were looking at being more efficient and minimizing the amount of impervious surface. It was moved by Liston to recommend approval of the request as presented. Kolb seconded the motion. On roll call vote for the motion, Ayes – Thurow, Franzen, Liston, O'Neill, Kolb, Fitzwilliams, Palm. Nays – 0, and the motion carried.
- b. Review a concept plan for a prospective 3-lot certified survey map on the 15.58-acre parcel north of the Pleasant View Subdivision, located in the Sw<sup>1</sup>/<sub>4</sub> of Section 30, T12N, R7E, for Don and Karen Stanley – Pinion said that this was included in the packet last month when it was a 4-lot CSM, but it was withdrawn in favor of going back to the drawing board. Pinion then explained the CSM to the Commission saying that the subject of this evening's discussion is southeast of Rolling Meadows Subdivision. Mike Bisbach then addressed the Commission regarding the Stanley's plan.

- c. Review and approve Final Plat of Rolling Meadows North, a 23-lot subdivision located in the NE¼ of the SW¼ & a fractional part of the NW¼ of the SW¼ of Section 30, T12N, R7E, City of Baraboo, Sauk County, Wisconsin, by Legacy Housing, LLC – Pinion said the Commission looked at the Preliminary Plat two months ago for the balance of the vacant land what was originally Rolling Meadows Estates. He said this is the Final Plat of 23 lots. He said when the Commission reviewed and approved the Preliminary Plat a couple of conditions were imposed, those being that they provide a Subdivider’s Agreement, they complete the plans and specs, and they pay all review fees. Pinion said that the review fees have been paid. He said that the Commission is not the last stop for the Final Plat, so this will go to the Council for final approval. It was moved Liston, seconded by O’Neill to recommend approval of the Final Plat with the three conditions as stated above. On roll call vote for the motion, Ayes – Franzen, Liston, O’Neill, Kolb, Fitzwilliams, Palm, Thurow. Nay– 0, and the motion carried unanimously.
  
- d. Request by Wal-Mart for an amendment to their Conditional Use Permit, which was approved on August 17, 1999 and subsequently amended on June 17, 2008, to change the exterior of the building and signage, located at 920 USH 12 – Pinion presented the history of the Walmart Conditional Use to the Commission. He said that he was surprised that in 2008 they amended their conditional use to change the building colors to the earthy browns and tans that exist today, and they will be going to blues and grays, which are now Wal-Mart’s normal colors. Palm asked Brittany Lewis when the work was to start and she answered in June. Pinion said that Walmart is doing 51,000 square feet of renovations inside as well. It was moved by Liston, seconded by Kolb to approve the amendment to the Conditional Use Permit as presented. On roll call vote for the motion, Ayes – Liston, O’Neill, Kolb, Fitzwilliams, Palm, Thurow, Franzen. Nay – 0, and the motion carried unanimously.

**Adjournment** - It was moved by O’Neill and seconded Kolb to adjourn at 5:53 p.m. The motion carried unanimously.

Phil Wedekind,  
Mayor Designee

**PLAN COMMISSION ITEM SUMMARY**  
**April 19, 2016**

**SUBJECT: REVIEW AND APPROVE A ONE-LOT CERTIFIED SURVEY MAP FOR THE DAVID A AND DELORIS E LEATHERBERRY LIVING TRUST FOR LAND IN THE CITY'S EXTRATERRITORIAL PLAT APPROVAL JURISDICTION, LOCATED ON THE WEST SIDE OF CTH A APPROXIMATELY 1/3 OF A MILE NORTH OF CITY VIEW ROAD, IN THE NE ¼ OF THE NE ¼, SECTION 26, T12N, R6E IN THE TOWN OF BARABOO, SAUK COUNTY, WISCONSIN.**

**SUMMARY OF ITEM A:** Mr. Leatherberry is subdividing a 1.81-acre lot from his existing 40-acre parcel on CTH A. Although the City's minimum lot size regulation in the ETJ area is 20 acres, this land division qualifies under the Special Exception provision in Section 18.02 (8)(b)(1) of the City's Subdivision and Platting Code since it meets the following criteria:

- The lot contains a single-family residence that existed prior to 1998
- The remnant is at least 20 acres
- The land division is by CSM

The Town of Baraboo has reportedly approved this CSM and Sauk County CP&Z staff has reviewed the CSM and has no apparent objection.

**COMPLIANCE/NONCOMPLIANCE:**

Pursuant to Section 18.02(8)(b)(1) – *Minimum Lot Size or Parcels in the City's ET Plat Approval Jurisdiction*, I have found the CSM to be complete and have reviewed it for compliance with the ordinance.

**ACTION:** Approve / Conditionally Approve / Deny CSM

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**SUBJECT: REQUEST OF DRIFTLESS GLEN PROPERTIES, LLC FOR AN AMENDMENT TO THE CONDITIONAL USE PERMIT APPROVED ON MARCH 19, 2013, FOR A SECOND ANCILLARY STORAGE BUILDING (RICKHOUSE) FOR DRIFTLESS GLEN DISTILLERY. LOCATED AT 300 WATER STREET.**

**SUMMARY OF ITEM B:** Driftless Glen Distillery has progressed to the point of needing to build a second rickhouse (barrel storage warehouse). The building and site plans that were submitted differ enough from the original one that was approved with their Conditional Use Permit that they warrant consideration as an amendment to the CUP. The orientation of the building was rotated 90 degrees, which is a very insignificant change, and the exterior finishes have been modified. The Plan Commission's task is to determine if the modified building is acceptable.

I have included the original renderings in the packet (pages 11 through 15) as well as renderings of the proposed building with the exterior modifications.

**COMPLIANCE/NONCOMPLIANCE:**

Pursuant to Section 17.37 – *Conditional Use Review and Approval*, I have found the application to be complete and have reviewed it for compliance with the ordinance.

**ACTION:** Approve / Deny this Amendment to the Conditional Use Permit (with certain conditions?)

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**SUBJECT: REVIEW AND RECOMMEND VACATING THE UNIMPROVED ALLEY RIGHT-OF-WAY WEST OF TUTTLE STREET BETWEEN 10<sup>TH</sup> AND 11<sup>TH</sup> STREETS.**

**SUMMARY OF ITEM C:** The adjoining property owners east of said alley have submitted a petition requesting the vacation of the unimproved alley right-of-way. I have included a location map and a copy of the signed petition in the packet.

**COMPLIANCE/NONCOMPLIANCE: N/A.**

**ACTION: Approve/ Deny this request. If approved, forward this matter to the Common Council for their consideration.**

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**SUBJECT: REVIEW SAUK COUNTY'S PLAN TO RECONSTRUCT THE EAST STAIRWAY AT THE HISTORIC COURT HOUSE BUILDING AT 515 OAK STREET AND RECOMMEND GRANTING A CERTIFICATE OF APPROPRIATENESS PURSUANT TO SECTION 17.53 OF THE CITY OF BARABOO'S GENERAL CODE OF ORDINANCES.**

**SUMMARY OF ITEM D:** As part of the City's Historic Preservation Ordinance (Section 17.53), the City designates certain properties as historically significant. Those properties have to be listed on the State and/or National Register of Historic Places. Once designated by the City, any improvement to the exterior of the building requires approval by the Plan Commission. Accordingly, Sauk County is requesting approval to replace the east stairway. There will be a representative from Sauk County at the meeting to explain what they plan to do.

**COMPLIANCE/NONCOMPLIANCE:**

Pursuant to Chapter 17 – *Zoning Code*, I have found the application for a Certificate of Appropriateness to be complete.

**ACTION: Approve/Conditionally Approve / Deny the Certificate of Appropriateness.**

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**SUBJECT: REVIEW AND RECOMMENDATION OF THE BARABOO RIVER CORRIDOR PLAN.**

**SUMMARY OF ITEM E:** Please see the attached documentation. The Plan was prepared by MSA Professional Services but their representative is unavailable on Tuesday so the Mayor has graciously volunteered to “pinch hit” and provide a brief overview of the project.

**ACTION: Forward to Common Council with a recommendation to Approve/Conditionally Approve/or Deny the Plan.**

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**SUBJECT: REVIEW PROPOSED US BIKE ROUTE 30 THROUGH BARABOO AND RECOMMEND APPROVAL OF RESOLUTION SUPPORTING USBR 30.**

**SUMMARY OF ITEM F:** Please see the attached documentation. Mike Hardy will attend the meeting to provide a brief overview of this effort and request the City's support.

**ACTION: Forward to Common Council with a recommendation to Approve/Conditionally Approve/or Deny the Plan.**

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**SURVEYOR'S CERTIFICATE**

I, Richard T. Blakeslee, Professional Land Surveyor, hereby certify that I have surveyed, divided and mapped a parcel of land located in the NE1/4-NE1/4 of Section 26, T12N, R6E, Town of Baraboo, Sauk County, Wisconsin; being more fully described as follows:

Commencing at the East ¼ corner of Section 26; thence N00°19'39"E, 1736.42 feet along the East line of the Northeast ¼ of Section 26 to the point of beginning; thence S89°54'14"W, 454.62 feet; thence N00°03'07"W, 99.52 feet; thence N78°47'14"E, 243.97 feet; thence N44°46'10"E, 154.55 feet; thence N89°12'37"E, 108.04 feet to a point on the East line of the Northeast ¼ of Section 26; thence S00°19'39"W, 257.41 feet along the aforesaid East line to the point of beginning.

Said parcel contains 1.81 acres, more or less, and is subject to the right's-of-way of County Trunk Highway 'A' and all existing utility easements of record.

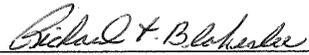
That I have complied with the provisions of Chapter 236.34 of the Wisconsin State Statutes, and the City of Baraboo Subdivision Regulations. Also that this map is in compliance with Chapter A.E. 7 of the Administrative Code of the State of Wisconsin to the best of my knowledge and belief in surveying, dividing and mapping the same.

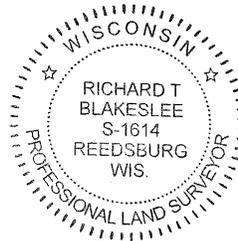
That such plat is a true and correct representation of the exterior boundaries of the land surveyed and the subdivision thereof made.

That I have preformed such Certified Survey under the direction of the David A. & Deloris E. Leatherberry Living Trust, S4166 Crawford Street, Baraboo, WI 53913, owner's of said lands.

01-25-2016

Date

  
Richard T. Blakeslee  
Professional Land Surveyor S-1614



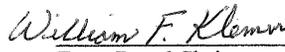
**Soil Certificate**

Lot 1 of this Certified Survey has an existing septic mound system.

**Baraboo Town Board Approval**

Resolved, that this Certified Survey in the Town of Baraboo, be and is hereby approved.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the Baraboo Town Board and made effective this 8th day of Feb, 2016.

  
Town Board Chairman

**Sauk County Planning Agency Approval**

Resolved, that this Certified Survey in the Town of Baraboo, be and is hereby approved in compliance with Chapter 236 of the Wisconsin Statutes, and the zoning requirements of the Sauk County Planning Agency Land Division and Subdivision Regulations.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the Sauk County Planning Agency and made effective this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Administrator

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**CITY RESOLUTION**

Resolved that the Certified Survey Map attached hereto, and filed with the City of Baraboo, Wisconsin, by the City of Baraboo, owner is hereby approved by the Plan Commission and the Common Council of the City of Baraboo, Wisconsin.

Plan Commission and Common Council  
City of Baraboo, Wisconsin

\_\_\_\_\_  
Baraboo City Engineer

\_\_\_\_\_  
Baraboo City Mayor

I hereby certify that the foregoing is a copy of a resolution adopted by the Planning Commission and Common Council of the City of Baraboo, Wisconsin.

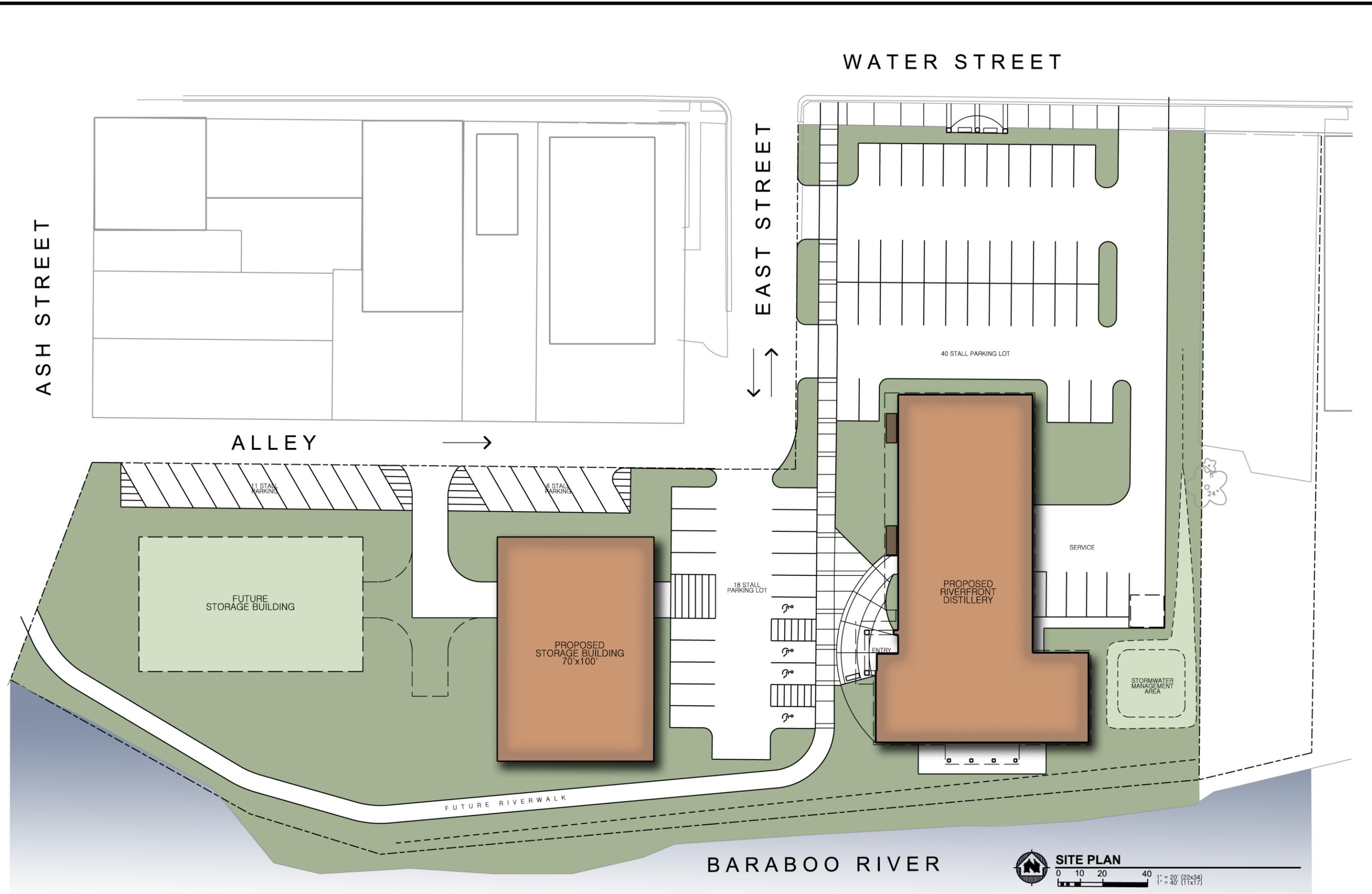
\_\_\_\_\_  
Date

Approved \_\_\_\_\_  
Baraboo City Clerk

01-25-2016  
Date

\_\_\_\_\_  
Richard T. Blakeslee  
Professional Land Surveyor S-1614





**SITE PLAN**  
 0 10 20 40  
 1" = 20' (22x34)  
 1" = 40' (11x17)

FILE NO. 14782000	SHEET <b>A-1</b>	PROJECT NO.: 14782000	SCALE: AS SHOWN	NO. DATE	REVISION	BY
		PROJECT DATE: MARCH 19, 2013	DRAWN BY: ABL			
		PLO DATE: MARCH 19, 2013	CHECKED BY: ECA			
SITE PLAN RIVERFRONT DISTILLERY BARABOO WISCONSIN		TRANSPORTATION • MUNICIPAL DEVELOPMENT • ENVIRONMENTAL 1230 South Boulevard Baraboo, WI 53913 608-356-2771 1-800-362-4505 Fax: 608-356-2770 Web Address: www.msa-ps.com <b>MSA</b> PROFESSIONAL SERVICES				

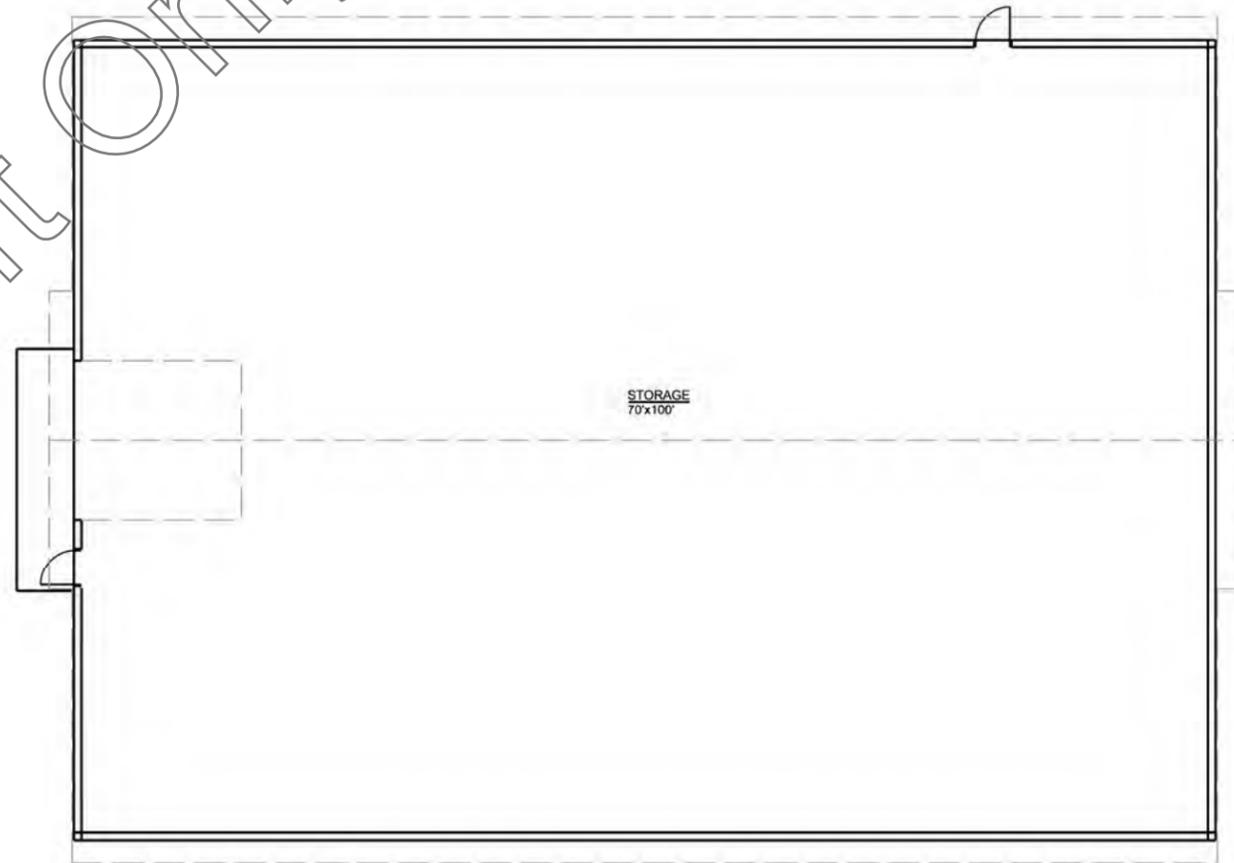


**NORTH ELEVATION**  
 0 4 8 16



**EAST ELEVATION**  
 0 4 8 16

Draft Only



**FLOOR PLAN RICK BUILDING**  
 0 4 8 16

**TRANSPORTATION • MUNICIPAL DEVELOPMENT • ENVIRONMENTAL**  
 1230 South Boulevard Baraboo, WI 53913  
 608-356-2771 1-800-363-4505 Fax: 608-356-2770  
 Web Address: www.msaps.com

MSA

PROFESSIONAL SERVICES

NO.	DATE	REVISION	BY

PROJECT NO: 14782000	SCALE: AS SHOWN	NO.:	DATE:	REVISION:
PROJECT DATE: MARCH 12, 2013	DRAWN BY: ABL	AS SHOWN:		
REV DATE: MARCH 12, 2013	CHECKED BY: ECA			

**RICK BUILDING FLOOR PLAN AND ELEVATIONS**  
**RIVERFRONT DISTILLERY**  
 BARABOO WISCONSIN

FILE NO: 14782000  
 SHEET: **A-5**

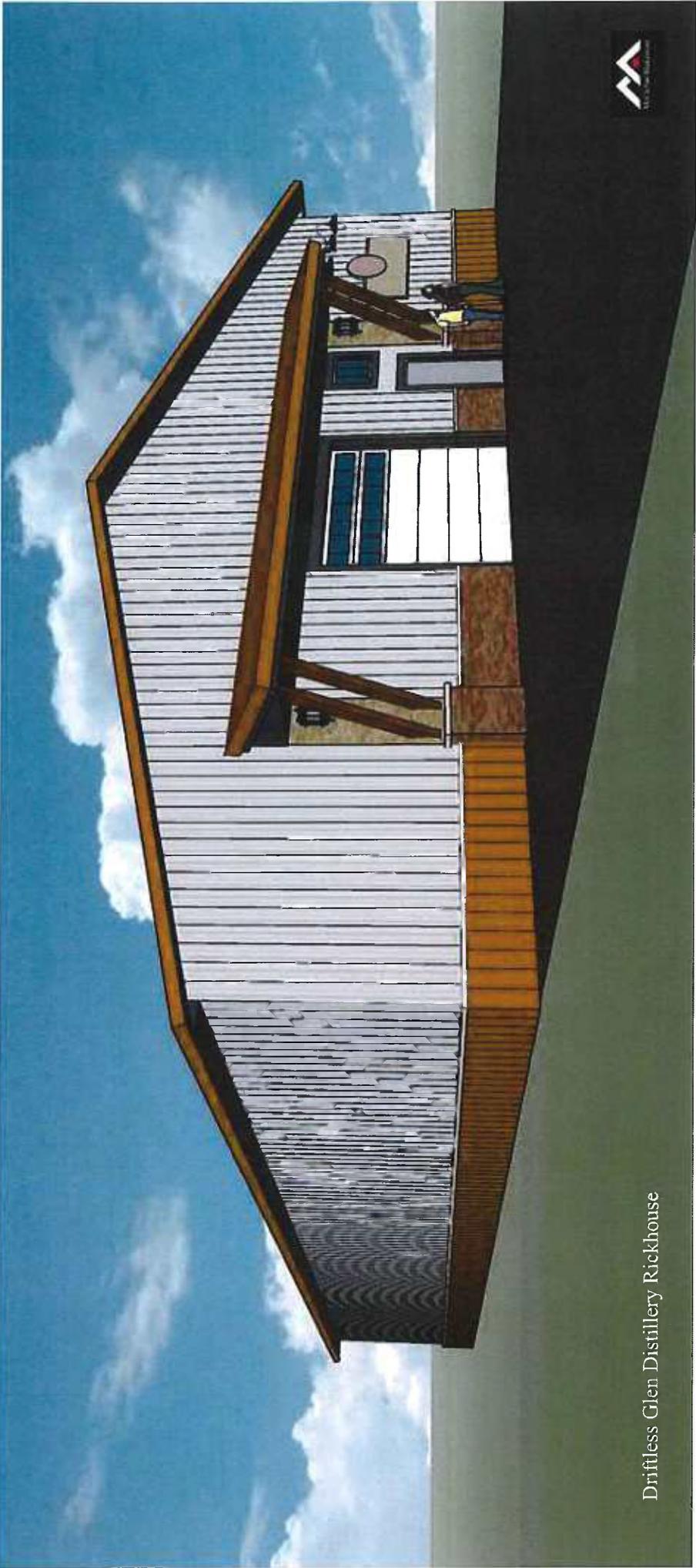


Driftless Glen Distillery Rickhouse



Driftless Glen Distillery Rickhouse





Driftless Glen Distillery Rickhouse



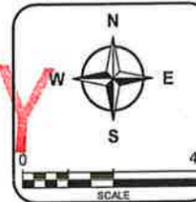




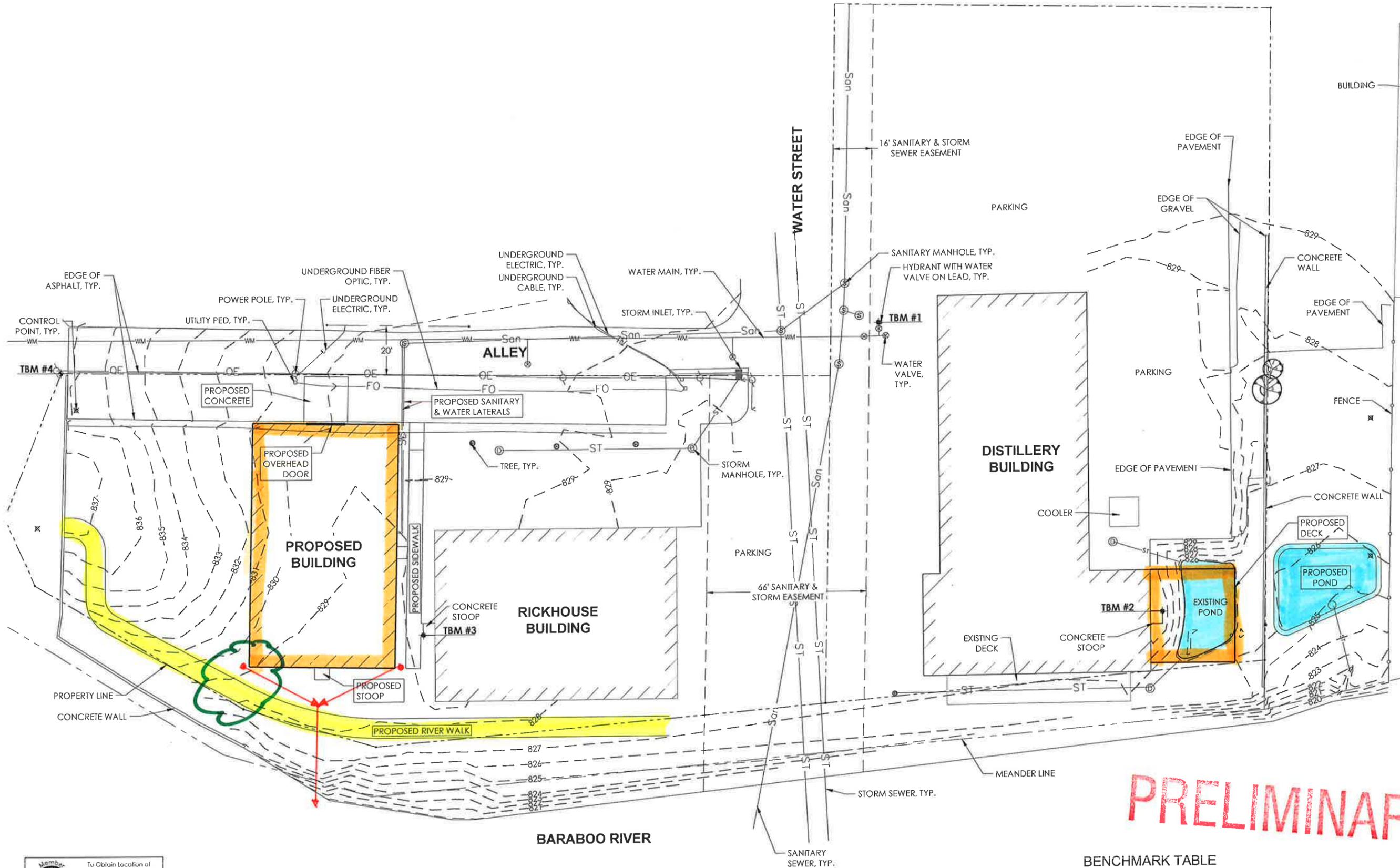
**General Engineering Company**  
 P. O. Box 340 - 616 Silver Lake Dr. - Portage, WI 54901  
 808-742-2188 (Office) - 608-742-2592 (Fax)  
 www.generalengineering.net  
This document contains confidential or proprietary information of General Engineering Company. Neither the document nor the information herein is to be reproduced, distributed, used or disclosed other than in whole or in part except as specifically authorized by General Engineering Company.

**PROPOSED SITE PLAN**  
**Driftless Glen Distillery**  
 Owner Info  
 300 Water St.  
 City of Baraboo  
 Sauk County, WI

REVISIONS	NO.	BY	DATE



DRAWN BY KP  
 REVIEWED BY BRB  
 ISSUE DATE 3/16/16  
 GEC FILE NO. 2-0116-76B  
 SHEET NO.  
**C1.1**



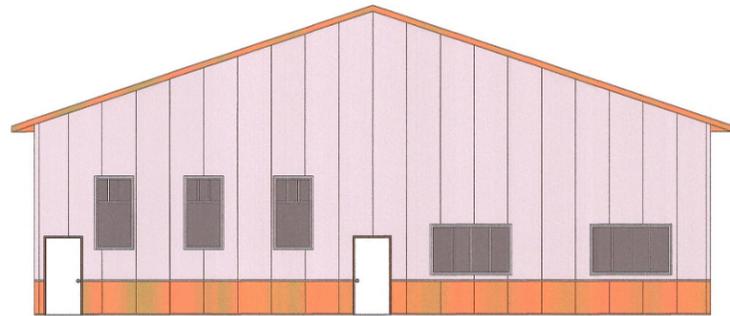
**PRELIMINARY**

BENCHMARK TABLE

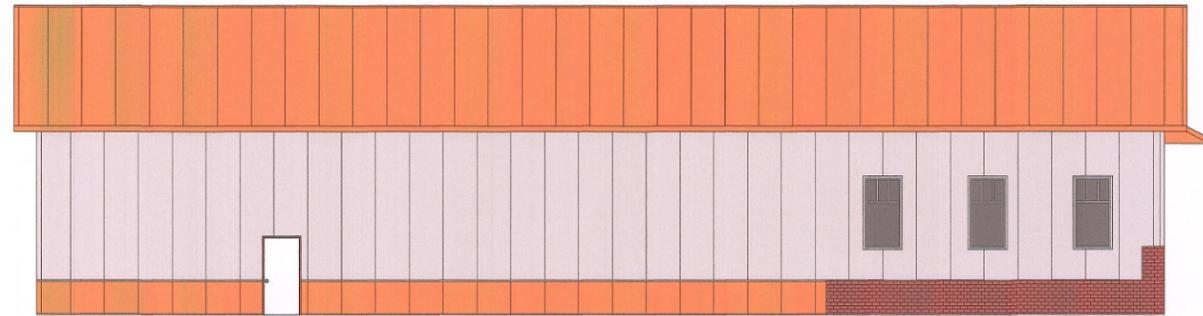
BENCHMARK	DESCRIPTION	ELEVATION
TBM #1	TOP NUT ON HYDRANT, SE CORNER OF THE ALLEY	831.549'
TBM #2	CROSS CUT IN THE NE COR. OF A CONCRETE STOOP ON THE EAST SIDE OF THE DISTILLERY BUILDING	829.780'
TBM #3	CROSS CUT IN THE SE COR. OF A CONCRETE STOOP ON THE WEST SIDE OF THE RICKHOUSE BUILDING	829.850'
TBM #4	PROPERTY CORNER/CROSS CUT IN SIDEWALK AT THE INTERSECTION OF THE ALLEY & ASH ST.	837.473'

- NOTES:
1. ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
  2. ALL GENERAL NOTES FOUND ON SHEET G1.1.

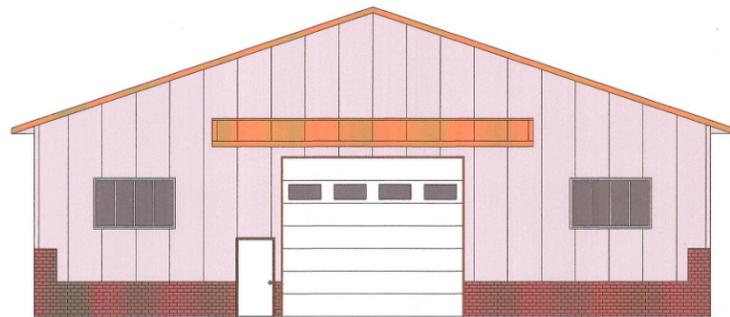
To Obtain Location of Participants Underground Facilities Before You Dig in Wisconsin  
**CALL DIGGERS HOTLINE**  
 1-800-242-8511  
Wis Statute 182.0175 (1974)  
 Requires Min. 3 Work Days  
 Notice Before You Excavate



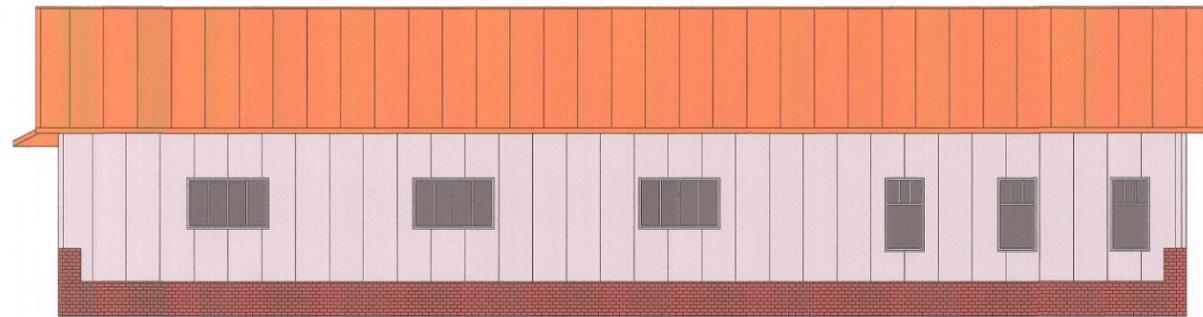
South Elevation



East Elevation



North Elevation



West Elevation



This Drawing and Design is made exclusively for the party named in the Title Block. It remains the property of HARTJE LUMBER, INC. and may not be reproduced or copied in whole or part by any method without prior written consent of HARTJE LUMBER, INC.

**DRAWN BY:**  
JC  
**DATE:**  
12-16-2015



**E4525A SCHUETTE ROAD**  
**P.O. BOX 389**  
**LAVALLE, WI 53941**  
**PHONE: 800-362-5898 OR 608-985-7207**

**OWNER:**  
Driftless Glen Distillery  
Baraboo, WI

**BUILDER:** Hartje Lumber Inc.  
**PROJECT:** 60'x100'x16' Shed

**SHEET**  
1 OF 1  
**JOB NO.**  
JC15-0410

## Petition to Vacate Public Right-of-Way

We, the undersigned owners of the real property described below, hereby petition the City of Baraboo to vacate the public right-of-way which abuts our properties, and allow the right-of-way to become part of the adjoining properties.

We understand the City of Baraboo requires payment of \$250.00 for consideration of this petition. That payment is included with the petition.

Tax Parcels: 2183 & 2184

Address: 1241 Jefferson Street

Owner: Donna Bambrough

Signature: Donna Bambrough Date: 4/5/16

Tax Parcel: 2185

Address: 1261 Jefferson Street

Owner: Ellen Allen

Signature: Ellen Allen Date: 4-5-16

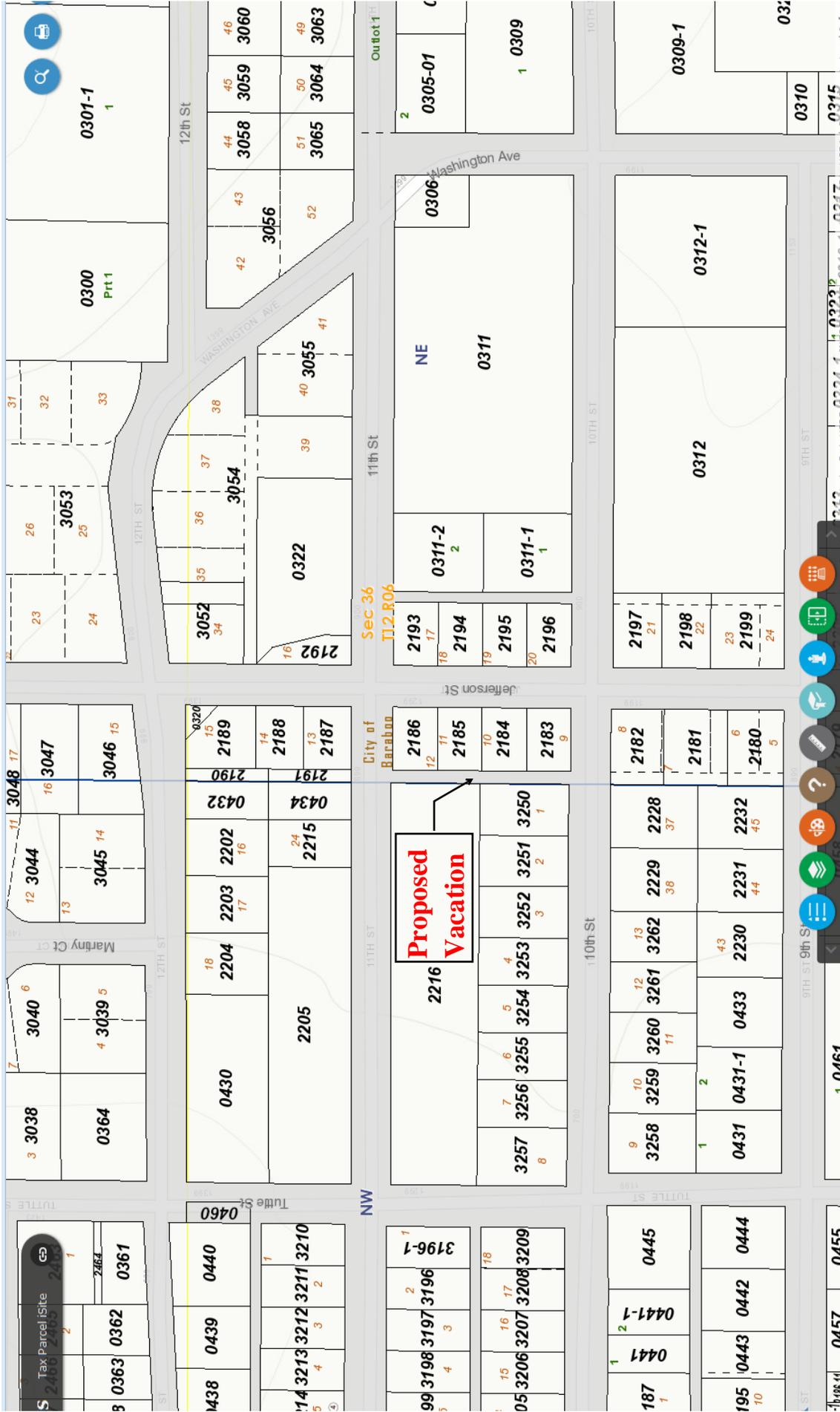
Tax Parcel: 2186

Owner:

Address: 1265 Jefferson Street

Owner: Hassain Harun

Signature: [Signature] Date: 4/5/16



City of Baraboo

Sec 36 T12 R06

12th St

11th St

10th St

Jefferson St

9th St

8th St

7th St

6th St

5th St

4th St

3rd St

2nd St

1st St

0461

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0455

0445

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0443

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## **East Stairway - Court House**

### **PART TWO - SCOPE OF WORK**

#### **1) WORK ITEMS**

- a) The County is requesting proposals in the form of labor, equipment and material bids for redoing the east entrance to the Sauk County Courthouse. Work will include the following items:
  - i) Remove and maintain all stones that make up the “porch & walls” at the east entrance of the Sauk County Courthouse. Stones need to be maintained for later reinstallation.
  - ii) Check base of “stone wall”, repair/replace as needed.
  - iii) Remove all concrete porch area and steps/stairs and dispose of same.
  - iv) Reinstall/rebuild stone walls as presently built, caps to be properly anchored and provide all necessary expansion materials, caulking materials, etc. and re-caulk all joints.
  - v) Install proper fill material and include two drains to include the associated pipe and downspouts nozzle (lamb's tongue) one on the north end and one on the south end so that all water drains into the small garden areas on each end. Include drain tile in a clear stone under the concrete.
  - vi) Install minimum of 4 inch concrete for plaza/porch area. Base bid on 300 square feet of sidewalk. Include window wells as presently designed and include minimum 1.5 inch lip on three sides of Porch concrete to accept grate, include any necessary material to secure grating.
  - vii) Install steps/stairs as presently designed.
  - viii) Remove and install new 4 inch concrete sidewalk at the bottom of steps/stairs as necessary to complete steps/stairs replacement. Base bid on 300 square feet of sidewalk.
  - ix) Install grates in two window wells, final finished elevation to be level with concrete so as not to require existing handrail/guardrail, unless otherwise specified by vendor. Grates to be securely attached but also accessible as needed. Grates should be able to hold four hundred pounds of weight while standing on the grate. Final design of grates to be approved by owner. Provide for proper drainage of window well area.
  - x) All concrete to have broom finish.
  - xi) Provide necessary temporary protection to the facility as needed.

#### **2) OVERVIEW/SAFETY**

- a) The Contractor is responsible for keeping pedestrians and vehicles out of hazardous construction areas. Proper barricades and warning signage will be utilized.
- b) All open ground areas must be properly barricaded when not attended by contractor crews. All barricades must be outside of areas open to foot traffic unless such areas are closed to the public.
- c) All construction areas must be cleaned and free of tools and small equipment prior to the end of each day's construction. Large equipment can remain on site as long as it poses no threat to the public. Owner not responsible for theft or damage to unattended equipment.
- d) The Contractor will be required to work closely and interactively with the County project manager, providing daily progress reports.
- e) Prior to any excavation contractor must call into Digger's Hotline to have all existing utilities located. All locates must clear prior to any excavation being performed. It is the Contractor's responsibility to locate Private Facilities on private property. Contractor must make calls for locates far enough in advance as to not delay the project waiting for locates to clear. County will assist with locates as needed.

#### **3) BUILDING PERMITS**

- a) County will obtain any necessary building permits.

#### **4) SCHEDULE**

- a) The work required with this request for bid shall be completed no later than June 1st, 2016

#### **5) BID**

- a) All pages within this Request for Bid that require a signature must be returned with signatures. Failure to do so will be cause to reject the bid.

#### **6) CHANGE ORDERS**

- a) All requested changes order must be approved, in writing by the county Contact person.

# Introduction

# 1

## 1.1 Plan Purpose 1.2 Planning Process

### 1.1 PLAN PURPOSE

The Phase I: Baraboo River Corridor Plan (BRCP) is a partnership between the Village of North Freedom, Village of West Baraboo, City of Baraboo and Sauk County. This Phase I plan will lay the groundwork for future planning efforts and improvements to the Baraboo River Corridor.

The Village of North Freedom, Village of West Baraboo, City of Baraboo and Sauk County have all recently engaged in conversation discussing potential park and recreation projects located directly adjacent to the Baraboo River. Discussions have been spurred by more recent changes to the River. Fifteen years ago the Baraboo River was officially restored to a free-flowing river after a series of dam removals. These dam removals increased the River's potential for recreation and have since spurred individual communities' plans and improvements. The Baraboo River is the longest restored River east of the Mississippi River.

North Freedom, West Baraboo, Baraboo and Sauk County would like to make the River a focal point in their communities and make it a true regional amenity. Although individual communities and organizations have made improvements to the River corridor, such as the Baraboo Riverwalk and the boat launch at Haskins Park, the communities wish to make a joint effort to improve the corridor moving forward.

The communities wish to preserve and enhance the character of the River. This includes using it to provide economic revitalization by attracting more tourists and more people who would like to use the River for recreational

purposes. In order to get more people to the River, the communities desire to add new/improve existing public access for walking, biking, canoeing/kayaking, fishing, etc. To accomplish this goal, shoreline stabilization will need to occur and a buffer needs to be created along the River. Incorporating all of these goals into one sentence, the purpose statement of the BRCP effort is to "protect, restore and enhance the natural environment within the Baraboo River Corridor and focus on opportunities that will spur recreation, tourism and development to establish the region as *THE* premiere water recreation destination in south central Wisconsin."

This plan will provide recommendations for the following:

- Goals and objectives for the corridor
- Conceptual planning for recreation improvements
- Land acquisition
- Site and access improvements
- Signage and wayfinding enhancements
- Capital improvements on proposed development
- Operational considerations
- Public policy priority actions and investments

The Phase I: BRCP includes recommendations and identifies funding options.

## 1.2 PLANNING PROCESS

The Phase I: BRCP planning process was spread over the course of approximately two months. The process included an inventory and analysis where the consultant team gathered and reviewed existing information pertaining to the study area, conducted site visits to evaluate existing conditions, assessed existing features and identified issues and opportunities. A large portion of the planning effort involved evaluating stakeholder needs to provide input on environmental, recreational, educational and other desired improvements. From the inventory and analysis and stakeholder needs assessment, this Phase I: BRCP was created to identify goals and objectives for the corridor, develop a conceptual plan and implementation plan and identify funding opportunities. The plan was completed by mid-April 2016 in order to meet State grant deadlines. Milestones in the planning process are listed below.

Next steps after the Phase I plan include applying for grant funding, building partnerships for future planning, and operation/maintenance of the corridor, then beginning to implement recommended park and recreation projects from this plan. These steps will lead the communities towards growing the corridor and making it a community and regional destination.

## PROJECT MILESTONES

<b>March 2, 2016</b>	Kickoff Meeting
<b>March 7-8, 2016</b>	Focus Groups
<b>March 15, 2016</b>	Public Information Meeting
<b>March 30, 2016</b>	Municipality meeting to review preliminary plan and comment
<b>Week of April 11, 2016</b>	Community presentations and plan adoptions



Island Woolen Mill Dam & Platform (Circa 1910's) (Removed in 1972)  
*Photo Credit: SCHS Trimpey Collection, A Brief History of the Dams of the Baraboo River*

# Phase I: Baraboo River Corridor Plan Summary

[Chapter 1: Introduction](#)

[Chapter 2: About: Baraboo River Corridor](#)

[Chapter 3: Inventory and Analysis](#)

[Chapter 4: Needs Assessment](#)

[Chapter 5: Recommendations](#)

## CHAPTER 1

Chapter 1 states the plan's purpose which is to "Protect, restore and enhance the natural environment within the Baraboo River Corridor and focus on opportunities that will spur recreation, tourism and development to establish the region as *THE* premiere water recreation destination in south central Wisconsin."

This Phase I plan includes recommendations for North Freedom, West Baraboo, City of Baraboo and Sauk County to begin to accomplish this vision and suggests funding options to help communities carry-out the recommendations. Next steps after the Phase I plan include applying for grant funding, building partnerships for future planning and operation/maintenance of the corridor, then beginning to implement recommended park and recreation projects from this plan. These steps will lead the communities towards growing the corridor and making it a community and regional destination.

## CHAPTER 2

Chapter two gives general information on the communities and region, demographic data and discusses land use within the study area. The study area has and will continue to experience population growth due to its unique characteristics - including opportunities for recreation and tourism, high quality school districts and quality of life offered by the communities. According to projections from the Wisconsin Department of Administration, Sauk County's population is expected to grow by 25.6% between 2010 and 2040, surpassing the State's growth rate within the same time frame (14.1%).

Land use was an important topic in both focus group meetings and at the public meeting. Stakeholder interviews revealed concerns with the adjacency of farmland to the River, especially when farm animals are allowed to roam into the River. This has a negative impact on water quality and creates a potential risk for paddlers. Stakeholders are also concerned about development adjacent to the River being well-thought out so as not to disturb the River's flow.

## CHAPTER 3

Chapter 3 is an inventory and analysis of the natural resources, cultural and historic resources, infrastructure resources and recreational resources within the study area.

Of note in this section is that the River is a unique amenity, due to a series of dam removals that have allowed the River to return to its natural state. Although it has a lot of recreational potential, there are some existing issues with water quality due to nonpoint source pollution. The communities have been and will continue to work to improve water quality.

The River is also a unique habitat and is home to a variety of rare plant and animal species including birds, butterflies, dragonflies, fish, mayflies, mussels, snakes, mammals and a turtle, lizard and snail. The River is currently a fishing and birding destination and the communities hope it will become a more well-known location in the future. The river is also used frequently for paddling and offers opportunities for beginners all the way through more experienced paddlers.

The River Corridor also has many archaeological and historical sites including Native American effigy mounds which are shaped to resemble animals and humans. The Native Americans were the first people to use the River and since then, the River has played an integral part in the development of nearby communities.

Existing amenities along the River include the Ice Age Trail, the Riverwalk in Baraboo and a long list of parks that are adjacent or near the River.

## CHAPTER 4

Chapter 4 summarizes existing plans related to the study and efforts to engage with the community and identify strengths, opportunities, weaknesses and threats. MSA Professional Services conducted two focus group discussions and a public forum to gather critical knowledge and discuss improvements to the Baraboo River Corridor. A summary of key takeaways from these meetings is summarized in the topics below:

### STRENGTHS

#### Natural Resources and Recreational Opportunities

- Free-flowing river/dam removals have increased opportunities for recreation on the River (e.g. kayaking, canoeing, fishing).
- Riverwalk in Baraboo connects people to the River and offers opportunities for walking, biking and enjoyment of nature.

- Public access allows residents and visitors to recreate on and near the River.
- Transect of River allows users to have a variety of experiences (River runs through developed areas and very rural areas).
- Scenic views along River make it a desirable place to visit.
- Paddling opportunities for all skill levels along River offer something for everyone.
- ~50 foot drop in elevation at Baraboo Rapids section of River make it a desirable paddling location.

#### Established, multi-jurisdictional partnership

- Partnerships between and within communities make planning and funding improvements more feasible.

## WEAKNESSES

#### Waterway

- Water quality is poor due to phosphorus and suspended solids.
- Log jams in River create difficulties when paddling.

#### Recreational Limitations

- Existing canoe/kayak launches are difficult to use due to mud and steep slopes.
- River access points are not widely known/ well-publicized.
- There is a lack of public restrooms along corridor.
- Not all canoe/kayak launches are ADA accessible.
- Fluctuation of water level causes mud issues which make accessing the River difficult.

## OPPORTUNITIES

#### Access, Active Use and Healthy Living

- If River conditions continue improving, the River could become a fishing destination.
- Riverwalk trail extension could be extended to other communities.
- Wisconsin Department of Transportation wayside along STH 33 could become a canoe/kayak launch.
- Improve canoe/kayak launch at Giese Park.
- New canoe/kayak launch to the east of Circus World.
- New canoe/kayak launch along Water Street.

#### Development/Redevelopment

- Riverfront redevelopment could make the area more attractive for residents and visitors to enjoy.
- Tourism could bring additional spending into the communities.

- Restaurants/retail along the River could make the area more widely used by residents and visitors.
- Hold events that focus on River to bring awareness to the resource as a local and regional destination.
- New paddle sports store and/or rental location for those who come to the area to canoe/kayak or for those who are interested in trying those activities.
- Water Works Building could be reused for a business related to River recreation.

#### Education and Stewardship

- Additional partnerships within communities (ex: University of Wisconsin-Baraboo/Sauk County) could bring others on board to help with planning and implementation efforts and engage the wider community.
- Organized river cleanups will improve the River's appearance and help improve water quality.
- Marketing/advertising will help to bring in more local and regional visitors to use the River as a recreational amenity

#### Beautification

- More natural landscaping adjacent to River will make the River more scenic.
- Beautification of the corridor will help it become a place that people enjoy visiting.

## THREATS

#### Human Activity

- User conflicts on River can be potentially dangerous and should be minimized (e.g. between fishermen and those kayaking on the River).
- There is some uncertainty about designated vs. undesignated hunting areas (e.g. water fowl hunting near Gander Mountain)

#### Maintenance

- Obstructions in and along the River can make paddling difficult and/or dangerous.

#### Health and Safety

- Increasingly degraded water quality can be a health hazard for those tubing, swimming, canoeing or kayaking in the River and those eating fish from the River.
- Agricultural land uses increase phosphorus levels in the River which lead to degraded water quality.

# Recommendations

# 5

- 5.1 Goals
- 5.2 Objectives
- 5.3 Overall Corridor Implementation
- 5.4 Specific Capital Improvements by Municipality

Chapter 5 presents a vision for the future of the Baraboo River Corridor and describes the goals and recommendations necessary to achieve this vision. Additional details will be identified in the next phase of the project. **Please note: the municipalities within the Baraboo River Corridor are under no obligation to complete the recommendations listed in this Chapter if they adopt this plan.**

## 5.1 CORRIDOR GOALS

1. Make the Baraboo River Corridor an attractive, accessible and safe destination to increase its use by residents and visitors for recreation.
2. Improve the water quality of the Baraboo River.
3. Build partnerships to develop, implement and champion improvements throughout the Baraboo River Corridor.
4. Create a system of access points throughout the Baraboo River Corridor and associated Tributaries for kayakers, canoers and fishers.

## 5.2 OBJECTIVES

BY 2025, THE BARABOO RIVER CORRIDOR:

1. Will be known regionally as a paddling destination with designated whitewater course(s).
2. Will provide a host of support facilities and amenities to expand tourism within communities it resides.
3. Will put into place measures to protect, enhance, restore and control the corridor's natural setting, improve water quality and biodiversity and educate visitors and residents on the unique cultural and historical significance of the Corridor.

## VISION

“Protect, restore and enhance the natural environment within the Baraboo River Corridor and focus on opportunities that will spur recreation, tourism and development to establish the region as *THE* premiere water recreation destination in south central Wisconsin.”

## 5.3 OVERALL CORRIDOR IMPLEMENTATION

### PUBLIC POLICY IMPROVEMENTS

To ensure that improvements and policies are made which continue to advance the BRCP and build upon the Phase I Plan, it is recommended that a River Partnership be created to include all municipalities adjacent to the River. Once the partnership has been established, the general goals contained within this section (5.3) should be delegated to specific entities to carry-out. A coordinator should also be designated so there is one person ensuring the project stays on track and continues moving forward.

#### Baraboo River Corridor

- Adopt and maintain the Baraboo River Corridor Plan.
- Review existing codes and processes, modify these documents to align with the goals, objectives and strategy. Evaluate impediments to implementing this and future phases of the plan.
- Conduct Phase II of the Baraboo River Corridor Plan which should include a parallel NRCS watershed study.

#### Conduct additional studies

- Conduct a study of stream and aquatic resources, vegetation, prairie and wetlands in order to identify issues and opportunities for ecological protection and restoration. As part of the study, create a maintenance plan for consistent river clean up.
- Conduct fishery surveys of the Baraboo River to identify current fish populations and strategize as to how to improve the abundance of desirable fish in the River and determine where fish habitats could be built.
- Conduct feasibility study to expand Riverwalk and/or trail throughout the corridor.
- Create a recreational master plan to guide the implementation of proposed amenities.
- Create, adopt and enforce planning and design guidelines for corridor improvements.
- Complete a more detailed analysis of cultural/historical resources for storytelling and educational opportunities within the corridor.

#### Developer toolkit

- Determine approach and available resources to provide developer assistance. Confirm developer assistance criteria and toolkit.
- Property owner outreach. Contact property owners to discuss the goals, objectives and recommendations of the BRCP (determine support, future plans, business objectives, potential development, etc.). Align policies and actions.

### OPERATIONAL IMPROVEMENTS

#### Marketing

- Engage in branding, collateral, public relations, business development and outreach.
  - » Create a brand strategy and communication system.
  - » Develop promotional material (including logo/mark, slogan, imagery and pattern language all municipalities can use throughout the Baraboo River Corridor.)
  - » Develop a design standards package and plans for identification, wayfinding, map and educational signage throughout the corridor.
- Create a website and app for the corridor. Include a real-time map of river levels, input/takeout points, trip suggestions, etc.
- Work with local tourism agencies to advertise existing local attractions and new attractions as they are developed.

#### Public/Private Partnerships

- Build a River Partnership to include all municipalities adjacent to the Baraboo River.
- Consider creating an intergovernmental organization or 501 (c)(3) agency to oversee Implementation of the Baraboo River Corridor Plan(s).
- Consider establishing a Friends of the Baraboo River Corridor group (or another volunteer group) that oversees stewardship and events in the corridor.
- Coordinate between the municipal River Partnership group, the 501 (c)(3) and the Friends group for planning, implementation and volunteer efforts in the Corridor.
- Designate a “coordinator” between all of the partners involved in the effort who will commit to organizing meetings, marketing and ensuring the project maintains focus.
- Hold community-wide events that focus on the River.
- Engage local County law enforcement to identify protocol on policing within the corridor.
- Work with WDNR to determine the feasibility of increasing rapids in certain places along the River to enhance kayaker experience.
- Investigate opportunities for educational and exploratory programming to expand curriculum that focuses on the diversity of the area and the potential to create outdoor classrooms and monitoring stations within the corridor. (Local schools, University of Wisconsin-Baraboo/Sauk County and other local higher education institutions)
- Work with property owners and businesses to address property conditions, unsightly views and improper uses along the corridor.
- Reach out to potential developers and

operators:

- » Contact a whitewater course developer.
- » Contact paddle sport businesses.
- » Contact food cart vendors.
- » Contact shuttle service providers.

#### Funding

- Investigate funding opportunities for planning, design and construction of future improvements.
- Establish corporate and individual donation program.
- Prepare an annual Capital Improvement Project Plan that aligns with partners and all sources of revenue.
- Identify local businesses for support, sponsorship and volunteer efforts.

#### Project Management

- Consider recruiting and hiring a project manager who can dedicate efforts to the revitalization and development of the river as a premiere recreation destination.
- Hire or identify staff responsible for regularly inspecting and reporting deficiencies, obstructions and debris within the riverway.
- Organize river cleanup days and clear log jams.

#### Park and Public Space

- Identify capital improvement budgets and priority action items.
- Prepare maintenance plan for current and future capital improvement projects.
- Develop a plan for revenue generation and enhancement through fees, events and sponsorship.
- Consider a Historic Review Board for oversight on protection and restoration of historic sites and structures.

### LAND AND DEVELOPMENT IMPROVEMENTS

- Develop paddle up restaurant(s) along the corridor.
- Each municipality should pay attention to properties that will further the goals and objectives of this plan by obtaining land either through purchase or easement for recreational and capital improvements.
- Municipalities should carefully review development proposals including opportunities for:
  - » A paddle sports store and/or rental locations near the river.
  - » Designated camp ground facilities.
  - » Redeveloping riverfront parcels into mixed-use development that allows for retail, restaurant and other businesses that are desirable to those

recreating on the River.

- Each municipality should carefully evaluate developer proposals and provide gap funding opportunities and assistance for property acquisition and clean up.

#### Current initiatives

- Continue to encourage redevelopment by supporting current grant opportunities for property owners.

### CAPITAL IMPROVEMENTS

#### Parks, Trails and Riverwalk

- Plan and design an extension of the Riverwalk and connecting Trails to and along the River Corridor towards North Freedom and the Glenville access point.
- Integrate public art, historical markers and interpretive signage into the corridor along designated routes that celebrates the rich history of the river.
- Identify and install designated fishing areas along the River.
- Connect to existing trails to provide multi-modal opportunities to, from and within the corridor.
- Improve existing launches and create new canoe/kayak launches that are easy to use, provide additional parking options and are ADA accessible.

#### Transit, Street and Streetscapes

- Install a unified, comprehensive wayfinding system throughout the corridor following the development of the branding effort.
- Inventory existing boat launch sites, associated parking, identify specific improvements needed and develop an implementation plan.
- Identify strategic locations for additional parking along the river.

#### Best Management Practices

- Communities should implement additional stormwater management techniques to improve non-point runoff.
- Increase native vegetation along the River to improve water quality and decrease erosion.
- Use best management practices to filter stormwater before it reaches the River.
- Communicate the importance to landowners of keeping farm animals out of river.

## 5.4 SPECIFIC CAPITAL IMPROVEMENTS BY MUNICIPALITY

**Please note: the municipalities within the Baraboo River Corridor are under no obligation to complete the recommendations listed in this Chapter if they adopt this plan.**

### City of Baraboo

- Evaluate the feasibility of installing a pedestrian bridge just east of the Broadway bridge, upstream of proposed whitewater course.
- Evaluate the feasibility for and apply for a Stewardship Grant for the pedestrian bridge east of Circus World.
- Identify, mark, and provide support amenities for portage opportunities at the two peninsulas (Attridge Park Area and Spirit Point).
- Acquire additional property for river access points.
- Evaluate the feasibility of moving the snow storage at Circus World's parking lot to somewhere outside the river corridor.
- Work with businesses along the river to establish potential variable access points.
- Work with the Village of West Baraboo to create a whitewater course from Haskin's Park to the south end of Attridge Park. Identify, mark, and provide support amenities for portage opportunities.
- Create additional opportunities for picnicking and unpaved recreation at Spirit Point.
- Work with the County to create an off road trail connection from Spirit Point to The Ice Age Trail.
- Identify, mark, and provide support amenities for portage opportunities.
- Create a short whitewater course from the west side to the east side Spirit Point with two potential variable access points. Identify, mark, and provide support amenities for portage opportunities.
- Identify opportunities for historic storytelling, especially focused on the River.
- Continue to move forward with redevelopment opportunities that support the goals of this plan.
- Continue to renovate the pump house into a picnic shelter with restrooms and historic storytelling plaques.

### Village of North Freedom

- Apply for SFR and RBF Grants in 2016 for the boat launch improvements in North Freedom Park
- Apply for DNR Stewardship Grant for redevelopment of North Freedom Park
- Designate safe pedestrian routes to/from North

Freedom Park and local destinations (Village Hall, local restaurants etc.)

- Work with adjacent land owners to develop additional variable access points to the river.
- Evaluate the feasibility of extending the riverway trail to Seely Creek and Lake.
- Work with adjacent land owners to clean up over-vegetation and log jams from North Freedom to Giese Park.
- Identify opportunities for historic storytelling, especially focused on the River.
- Continue to move forward with redevelopment opportunities that support the goals of this plan.

### Village of West Baraboo

- Conduct feasibility study and extend the Riverwalk to Haskin's Park.
- Install a kayak/canoe launch along 2nd Street.
- Apply for DNR Stewardship Grant in 2016 for Phase II of the park redevelopment.
- Consider applying for RTA or Stewardship Grant in 2018 for trail extension.
- Partner with Gander Mountain to add a variable access point on the river. Obtain an access/usage easement from Gander Mountain.
- Create a designated route on W. Oak Street that connects to Haskins Park and meets the Baraboo Riverwalk and loops back to Hill Park and The Village Hall Square.
- Work with the City of Baraboo to create a whitewater course from Haskin's Park to the south end of Attridge Park.
- Identify opportunities for historic storytelling, especially focused on the River.
- Continue to move forward with redevelopment opportunities that support the goals of this plan.

### Sauk County

- Coordinate with WDNR and the Town of Baraboo to address existing erosion and sediment issues at both Giese and Glenville launches.
- Work with landowners to develop additional variable access points to the river.
- Consider development of a park/shelter and improved boat landing facilities at the Glenville Access Point and on land owned by Sauk County west of State Road 113 based on perceived increased demand. Coordinate development efforts with the WDNR.
- Coordinate with the Town of Baraboo to improve the Giese Park Access point/boat launch.
- Work with participating communities/friends groups to identify opportunities for historic storytelling, especially focused on the River.

## 5.5 TOOLS & MECHANISMS TO FUND IMPLEMENTATION

Maintenance and operational expenses of the Corridor's Parks and Open Space is generally funded through property taxes and user fees. As the park systems within the corridor grow, the need to increase funding to meet the basic maintenance and operational costs also grows. Often there are insufficient funds to undertake major capital improvement projects. There are a wide variety of potential funding sources to assist with up-front capital costs, including acquisition of land and the development of new recreational facilities.

### GRANT PROGRAMS

An important source of funding is grant programs offered by state and federal agencies, especially the Wisconsin Department of Natural Resources. Table 5.1 provides a summary of common state and federal park and recreation grant programs. The table is not an exhaustive list of grant programs, rather those that are typically used by municipalities. Other grant programs may exist and information regarding funding details shown in Table 5.1 should be verified with grant providers prior to seeking grant funding.

### COMMUNITY FUND-RAISING & VOLUNTEER GROUPS

Community groups and civic organizations are sometimes willing to organize fund-raising efforts to assist with these costs, and they may also be able to marshal volunteer labor to assist with small development projects such as trail creation or playground installations. Local business and corporate support should also be sought. Both non-profit and for-profit organizations can be rewarded for their support with acknowledgement on a plaque or sign at the site.

### 501(C)3 FOUNDATION

The City can set up an endowment fund as an additional means of providing continual financial support for park acquisition and development. An endowment fund works like a permanent savings account. The amount individuals give, which is the principal, is never spent. Only the interest income is spent, thereby providing a continual source of monies. A park endowment fund can provide a means for residents to either bequeath money or provide ongoing donations to the City's park system, with the certainty that the money donated will only be used for the advancement of recreation in the community. Gifts to an endowment fund are typically tax deductible under federal and state law.

### TAX INCREMENT FINANCING (TIF)

As part of a broader plan to redevelop an area, the City can use tax increment financing to assist with parkland acquisition and development. There are some limitations to what revenues from a TIF district can be used to pay for, generally the costs of constructing public buildings can not be funded with TIF.

The City currently has two active TIF Districts, TID #4 and TID #6. The TID's were created for the purpose stimulating redevelopment and new public and private investments.

Under state statute 66.1105 a municipality can use tax increment to complete public improvements within a 0.5-mile radius of the TID, so long as the use of the funds supports and benefits the TID.

Table 5.1 In the full report identifies funding opportunities to assist municipalities to move forward with selected improvements.

# RIVER CORRIDOR CHARACTER

## SUBURBAN

This segment of the River is flows through the Village of North Freedom and has a blend of residential and agricultural uses adjacent to the river.

## RURAL

This segment of the River is characterized by slow moving, meandering waterway with steep cliffs and rock formations in some areas. The majority of the adjacent properties are agricultural uses.

## RURAL/SUBURBAN

This segment of the river corridor is transitional and moves from rural, into residential into a few industrial and commercial uses. The experience from the corridor itself largely remains rural in character.

## URBAN

This segment of the river corridor largely urbanized and transitions from low density to medium density back again into lower density. There are range of uses from commercial, industrial, civic, park and residential. This area has a mix of architecturally and historically significant buildings, some are deteriorating and others are in need of demolition. These site provide opportunities for redevelopment.

## SUBURBAN/RURAL

This segment of the river corridor transitions from suburban to rural in character with open space and parkland in between.

The segment from Walnut Street down to Pat Liston Dog Park is known to be a good fishing spot for Small Mouth Bass.

# BARABOO RIVER CORRIDOR PLAN

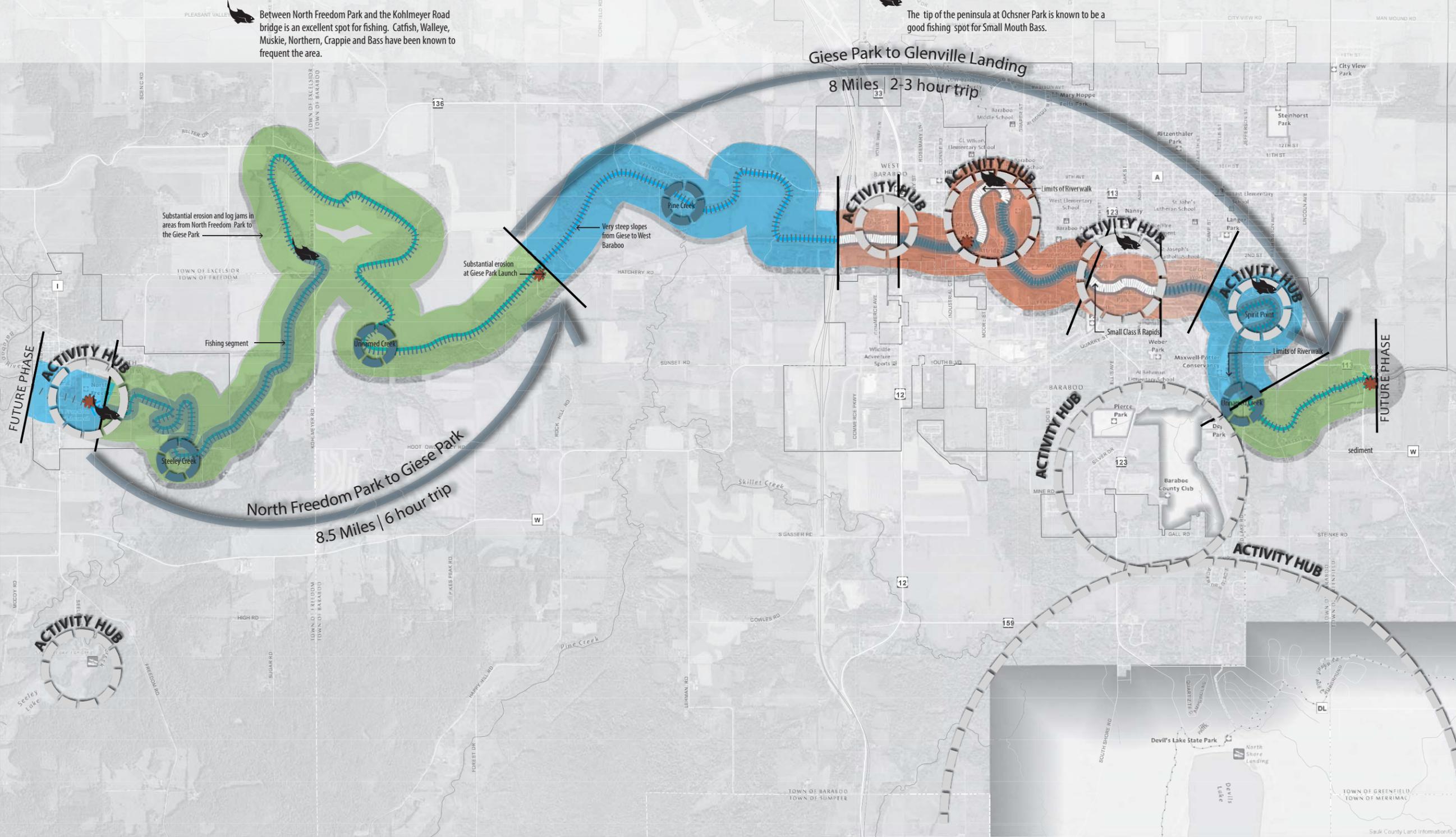
## Inventory and Analysis Map

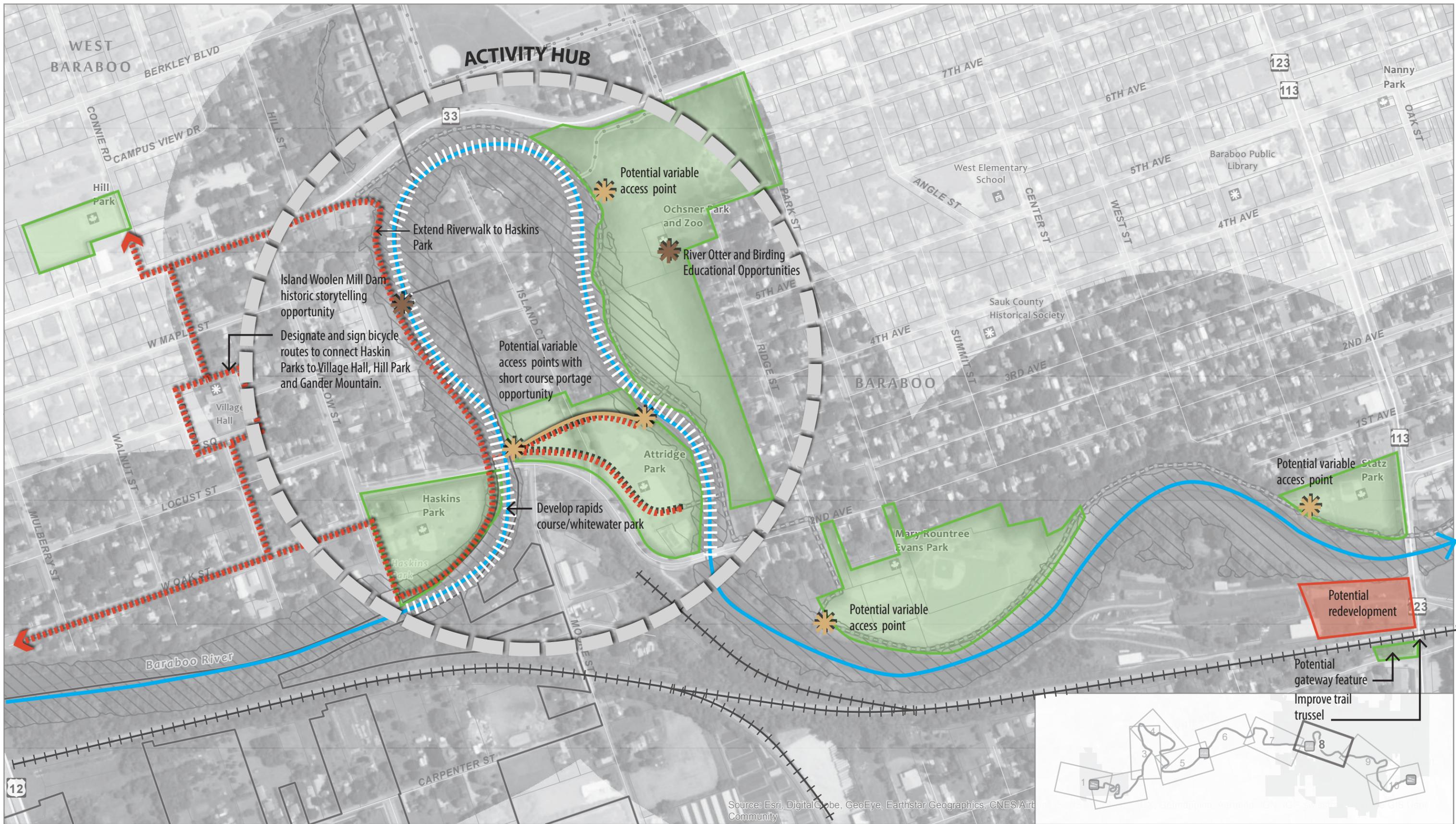
### LEGEND

- Proposed Riverway
- City/Village
- Town
- Waterbody
- Floodplain
- DNR Wetland
- Park
- County Owned Land
- Future Highway 12 Bypass
- River/Stream
- Unnamed River/Stream
- Trails**
  - River Walk
  - Ice Age Trail
  - Ice Age Trail (unofficial connector)
- Outdoor Retail**
  - Outdoor Retail
- Community Facilities**
  - Education
  - Recreation
  - Municipal/Other
- Boat Access Site**
  - Carry-In
  - Ramp
- Class 1 Rapids
- Riffles, Potential Class I Rapids
- Slow flowing with few riffles

DATA SOURCES:  
MUNICIPAL BOUNDARIES PROVIDED BY SAUK COUNTY  
WATERBODIES AND RIVERS/STREAMS PROVIDED BY THE USGS (NHD)  
DNR WETLANDS PROVIDED BY SAUK COUNTY  
FLOODPLAIN PROVIDED BY FEMA  
AERIAL IMAGERY PROVIDED BY USDA-NRCS (NAIP 2015)

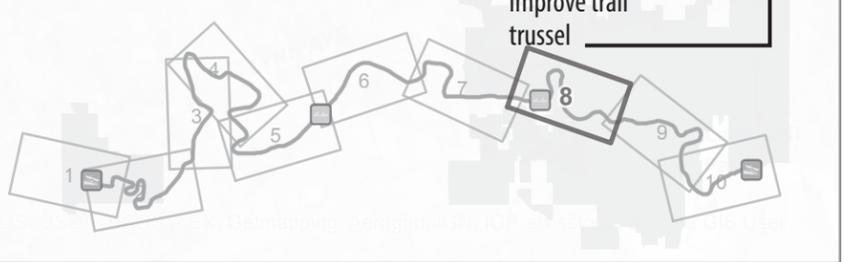
SAUK COUNTY, WI





**PAGE 8: CONCEPT PLAN**

- City/Village
- Waterbody
- DNR Wetland
- Park
- County Owned Land
- River/Stream
- River Walk
- Ice Age Trail (unofficial connector)
- Outdoor Retail
- Recreation
- Carry-In
- Town
- Floodplain
- Parcel
- Future Highway 12 Bypass
- Unnamed River/Stream
- Ice Age Trail
- Education
- Municipal/Other
- Ramp



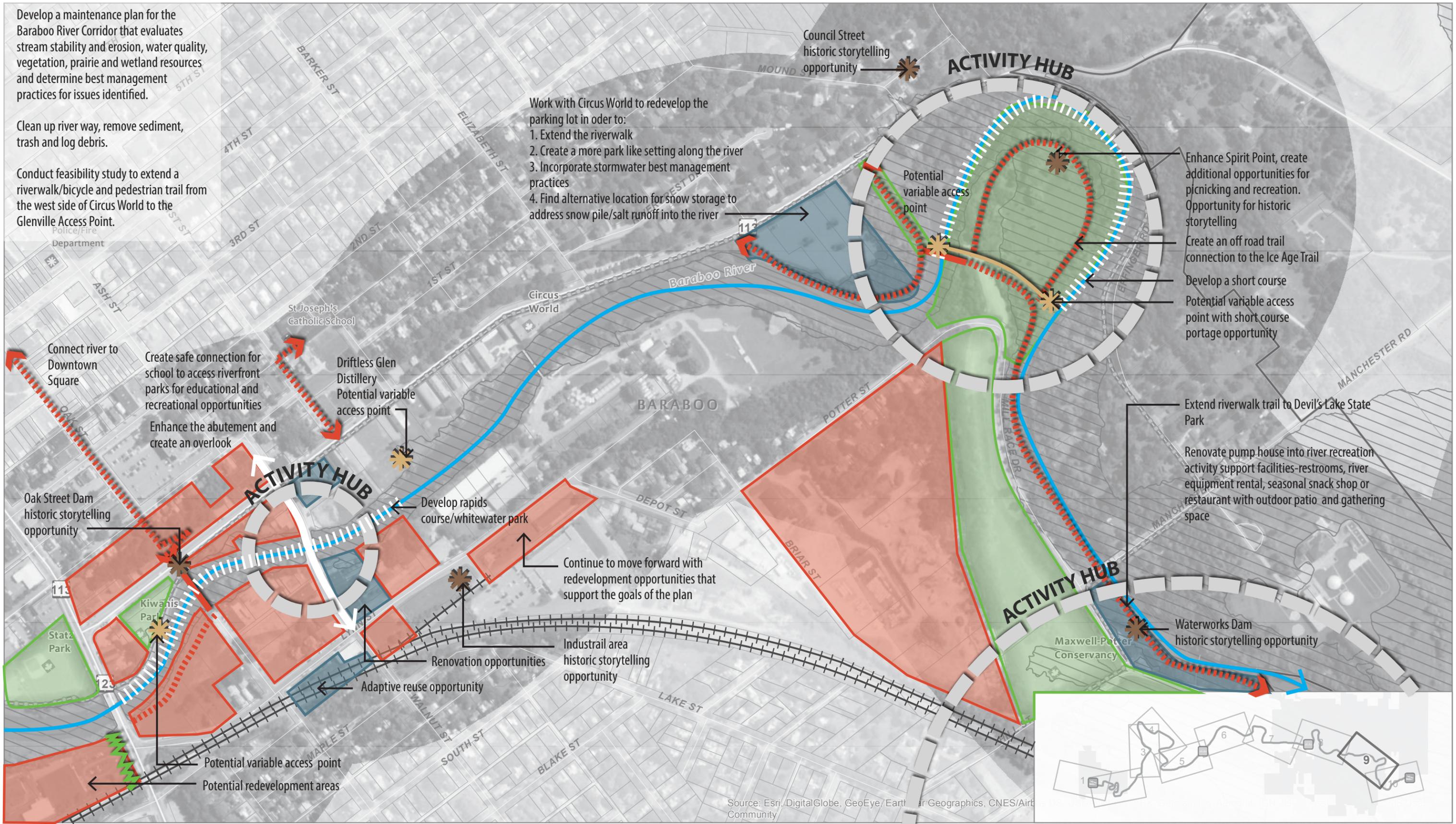
Develop a maintenance plan for the Baraboo River Corridor that evaluates stream stability and erosion, water quality, vegetation, prairie and wetland resources and determine best management practices for issues identified.

Clean up river way, remove sediment, trash and log debris.

Conduct feasibility study to extend a riverwalk/bicycle and pedestrian trail from the west side of Circus World to the Glenville Access Point.

Work with Circus World to redevelop the parking lot in order to:

1. Extend the riverwalk
2. Create a more park like setting along the river
3. Incorporate stormwater best management practices
4. Find alternative location for snow storage to address snow pile/salt runoff into the river

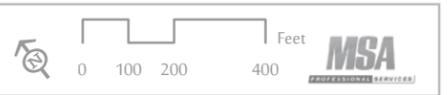


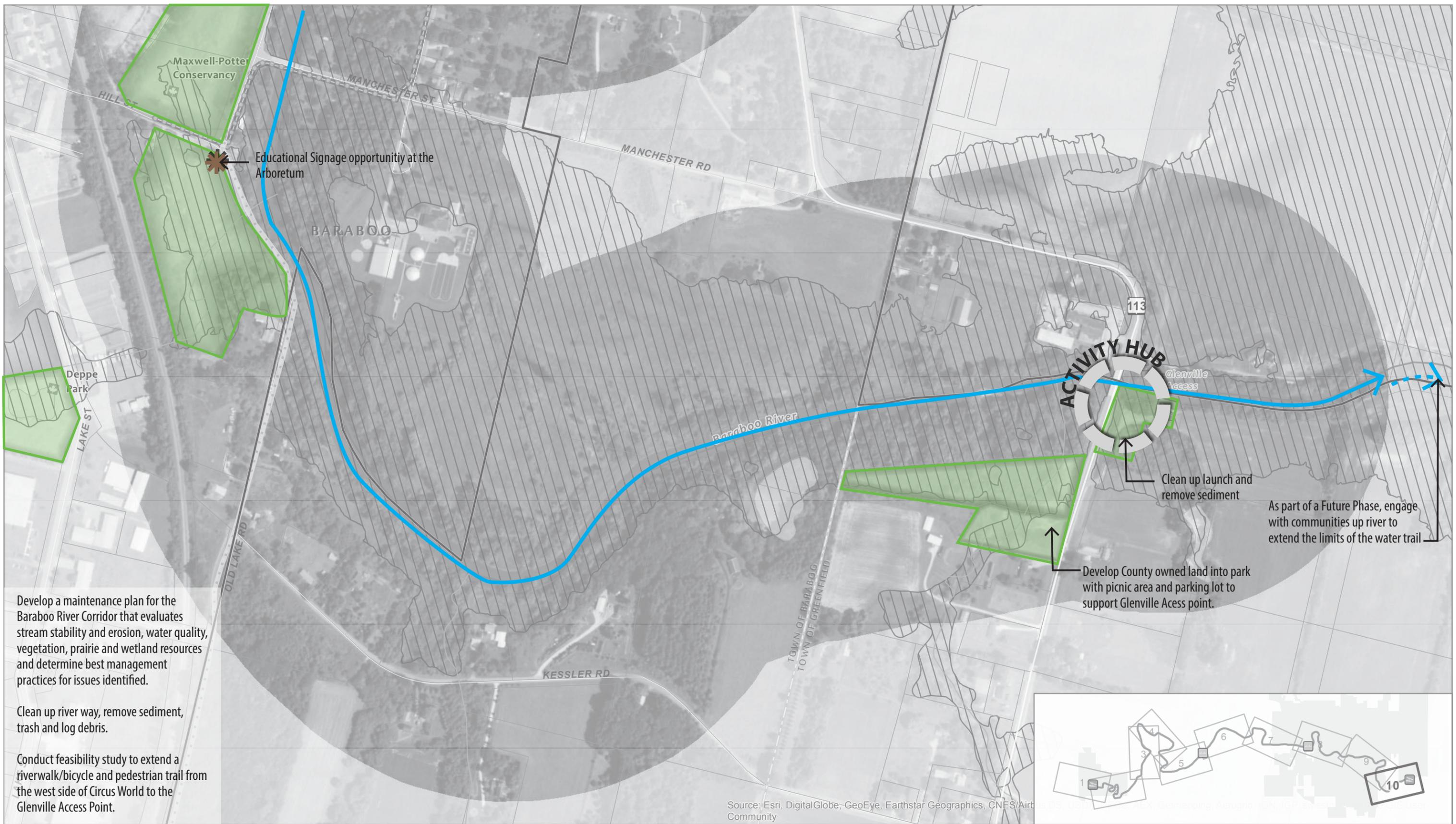
PAGE 9: CONCEPT PLAN

SAUK COUNTY, WI

- City/Village
- Waterbody
- DNR Wetland
- Park
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- River/Stream
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- Outdoor Retail
- Recreation
- Carry-In
- Town
- Floodplain
- Parcel
- Future Highway 12 Bypass
- Unnamed River/Stream
- Ice Age Trail
- Education
- Municipal/Other
- Ramp

DATA SOURCES:  
BASE DATA PROVIDED BY SAUK COUNTY, WDNR, AND USGS.  
FLOODPLAIN PROVIDED BY FEMA.  
AERIAL IMAGERY PROVIDED BY ESRI.





Educational Signage opportunity at the Arboretum

**ACTIVITY HUB**

Glenville Access

Clean up launch and remove sediment

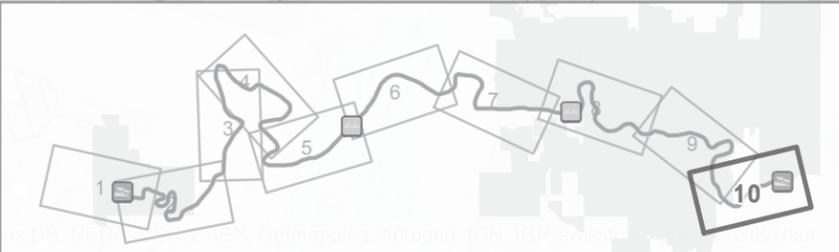
Develop County owned land into park with picnic area and parking lot to support Glenville Access point.

As part of a Future Phase, engage with communities up river to extend the limits of the water trail

Develop a maintenance plan for the Baraboo River Corridor that evaluates stream stability and erosion, water quality, vegetation, prairie and wetland resources and determine best management practices for issues identified.

Clean up river way, remove sediment, trash and log debris.

Conduct feasibility study to extend a riverwalk/bicycle and pedestrian trail from the west side of Circus World to the Glenville Access Point.



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, AeroGRID, IGN, IGP, Swire, Community

**PAGE 10: CONCEPT PLAN**

SAUK COUNTY, WI

- City/Village
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- Parcel
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- Unnamed River/Stream
- Ice Age Trail
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- Municipal/Other
- Ramp

DATA SOURCES:  
BASE DATA PROVIDED BY SAUK COUNTY, WISCONSIN AND USGS.  
FLOODPLAIN PROVIDED BY FEMA.  
AERIAL IMAGERY PROVIDED BY ESRI.



## **UB Bike Route 30 Support Resolution**

Whereas bicycle tourism is a growing industry in North America, contributing \$47 billion a year to the economies of communities that provide facilities for such tourists; and

Whereas the American Association of State Highway and Transportation Officials (AASHTO) has designated a corridor crossing southern Wisconsin to be developed as United States Bike Route 30 (USBR 30), and

Whereas the City of Baraboo and the Adventure Cycling Association, with the cooperation of the Wisconsin Department of Transportation and other stakeholders, have proposed a specific route to be designated as USBR 30, a map of which is herein incorporated into this resolution by reference, and

Whereas the proposed route for USBR 30 comes through the City of Baraboo and can therefore provide a benefit to our residents and businesses, and

Whereas we have investigated the proposed route and found it to be a suitable route, and desire that the route be designated so that it can be mapped and signed, thereby promoting bicycle tourism in our area,

Therefore be it resolved that the City of Baraboo hereby expresses its approval and support for the development of USBR30, and requests that the appropriate officials see to it that the route is officially designated by AASHTO as soon as this can be achieved, and authorizes the posting of signs within the City of Baraboo right-of-way identifying the route through the community once the official designation has been made.





The goal of The United States Bicycle Route System is to connect America through a network of numbered interstate bicycle routes.

# NATIONAL CORRIDOR PLAN

\*\*\*\*\*  
October 2015



DESIGNATED U.S. BICYCLE ROUTE

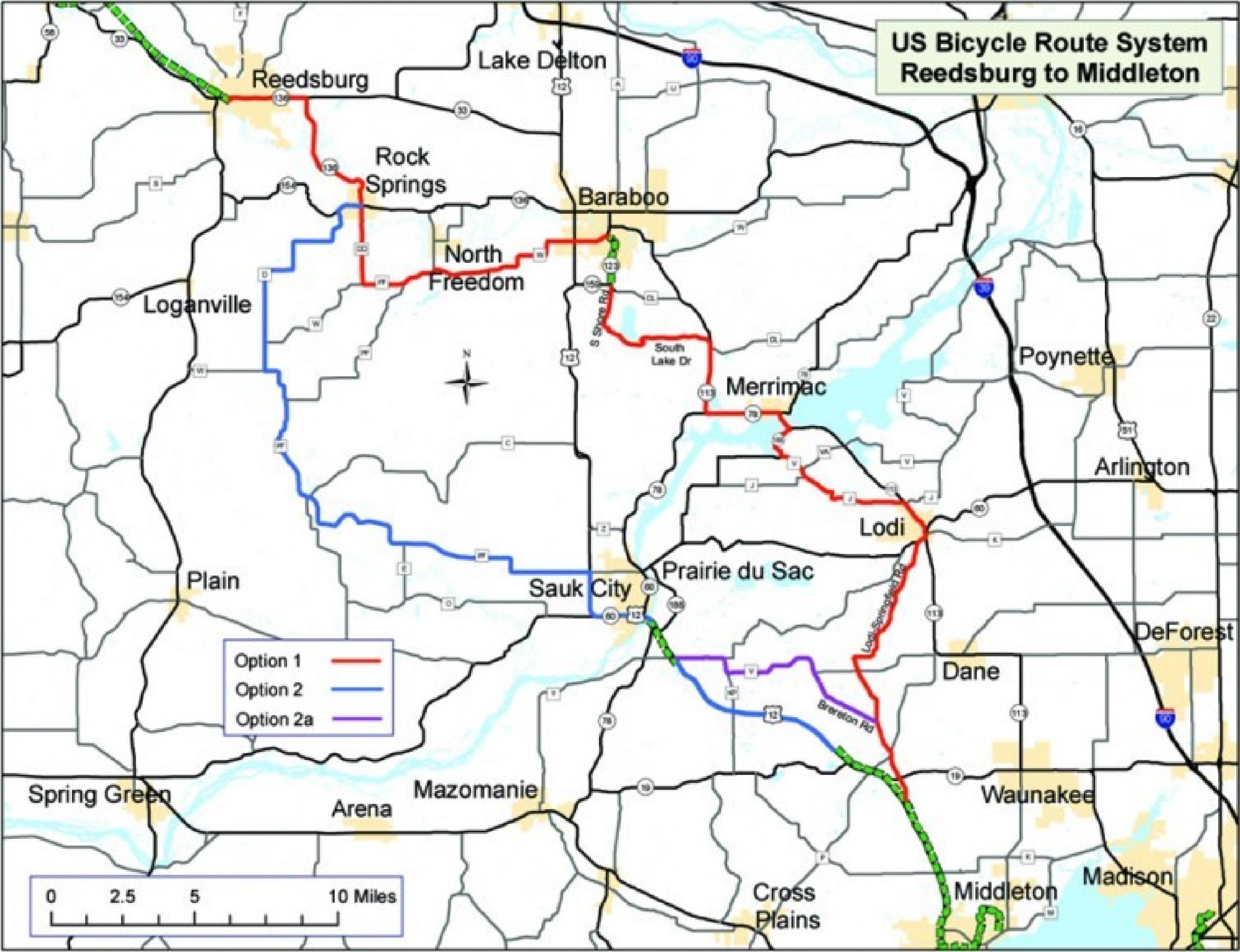
Established U.S. Bicycle Route designated by AASHTO.

\*\*\*\*\*

UNDEVELOPED CORRIDOR

These corridors are not routes, but 50-mile wide areas where a route may be developed.

# US Bicycle Route System Reedsburg to Middleton



- Option 1 —
- Option 2 —
- Option 2a —

